Zoning Ordinance Article Three

Zoning District Intent, Uses, & Standards

AP - Agriculture Protection District

3.1 "AP" District Intent, Permitted Uses, and Special Uses

District Intent

The "AP" District is intended to provide a land use category exclusively for agricultural activities. The provisions that regulate this district should protect, promote and maintain areas in Madison County exclusively for farming operations.

Madison County's Plan Commission and Board of Zoning Appeals should strive to protect this district from conflicting land uses and nonagricultural development.

The Plan Commission and Board of Zoning Appeals should also strive to promote the development of residences as accessory uses only in the "AP" district.

Permitted Uses

Agricultural Uses

- grazing/pasture land
- livestock
- agricultural crop production
- agricultural crop processing (of materials produced on-site)
- agricultural product storage (of materials produced on-site)
- agricultural product (seeds, fertilizer, etc.) sales, distribution, and storage
- farm implement storage (operable implements used in the farming operation - not for sale)

Residential Uses (permitted as accessory uses only)

- dwelling, single-family
- · child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower

Special Uses

Agricultural Uses

- confined feeding operation
- ·animal boarding
- retail sales (of crops produced onsite)
- seasonal farm worker housing

Residential Uses

- dwelling, single-family (as a primary use)
- manufactured home (type I)
- manufactured home (type II)
- dwelling, single family (accessory, as an additional dwelling)
- bed and breakfast facility
- home occupation (type II)
- private air strip

Institutional/Public Uses

- police, fire, or rescue station
- · church or other place of worship
- government office or facility
- school (P-12)

Communication/Utilities

 wireless telecommunications facility/ tower

Business Uses

- kennel
- recreation uses (large scale)

Industrial Uses

mineral extraction and processing

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

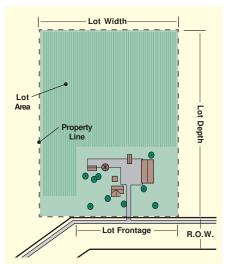
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

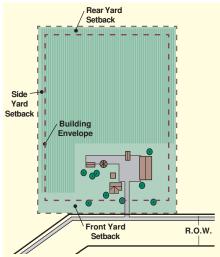
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

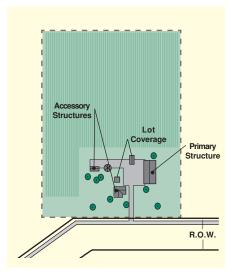
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

AP - Agriculture Protection District

3.2 "AP" District Standards







Minimum Lot Area:

•40 acres

Minimum Lot Width:

•100 feet

Minimum Lot Frontage:

 50 feet (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

• none

Sewer and Water:

 May use public water and sewer or private well and septic systems

Minimum Front Yard Setback:

- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- •35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•25 feet

Minimum Rear Yard Setback:

•30 feet

Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 10% of the Lot Area

Minimum Living Area:

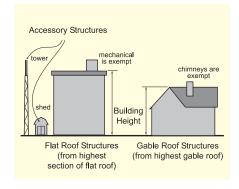
•1,000 square feet

Minimum Ground Floor Area:

•40% of the total living area

Maximum Residential Structures per Lot:

1



Maximum Structure Height:

- •35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply Lot, Yard, and Density Entrances/Drives (ED) Temporary Uses (TU) (LY) • ED-01 Pagé 115 •TU-01 Page 134 LY-01 Page 93 • ED-02 Page 116 •TU-02 Page 134 Height (HT) Sight Visibility (SV) Fences and Walls (FW) HT-01 Page 94 SV-01 Page 118 • FW-01 Page 137 **Accessory Structure (AS)** Home Occupation (HO) • FW-03 Page 137 AS-01 Page 95 • HO-01 Page 120 Seasonal Housing (SH) • AS-02 Page 95 Telecom. Facilities (TF) • SH-01 Page 143 • TF-01 Page 123 Buffer Yard (BY) General Signs (GS) • TF-02 Page 126 BY-01 Page 99 • GS-01 Page 147 Farm Animal (FA) **Environmental (EN)** Temporary Signs (TS) • FA-01 Page 127 • EN-01 Page 102 • TS-01 Page 150 • FA-02 Page 127 Flood Hazard Area (FH) Permanent Signs (PS) Mobile/Man. Home (MS) • FH-01 Page 104 • PS-01 Page 151 • MS-01 Page 128 Parking (PK) Satellite Dish (SA) • PK-01 Page 110 SA-01 Page 132 • PK-05 Page 113

AG - Agriculture District

3.3 "AG" District Intent, Permitted Uses, and Special Uses

District Intent

The "AG" District is intended to provide a land use category for agricultural activities. The provisions that regulate this land use district should protect, promote and maintain areas in Madison County primarily for farming operations.

Madison County's Plan Commission and Board of Zoning Appeals should strive to protect this district from conflicting land uses, non-agriculture oriented businesses, and any use that may inflict significant environmental impacts or be injurious to the agriculture community.

Permitted Uses

Agricultural Uses

- grazing and pasture land
- livestock
- agricultural crop production
- retail sales (of crops produced onsite)
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage
- farm implement storage (operable implements used in the farming operation not for sale)

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)
- residential facility for developmentally disabled/mentally ill
- · child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail
- •public school (P-12)
- •church or other place of worship

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower

Special Uses

Agricultural Uses

- confined feeding operation
- animal boarding
- livestock auction/sale facility
- ·commercial greenhouse
- farmer's market (for products grown off-site)
- farm implement sales and service
- seasonal farm worker housing

Residential Uses

- dwelling, single family (Accessory, as an additional dwelling)
- home occupation (type II)
- bed and breakfast facility
- ·boarding house
- private air strip

Institutional/Public Uses

- police, fire, or rescue station
- government office/facility

Communication/Utilities

- sewage treatment plant
- wireless telecommunications facility/ tower

Business Uses

- kennel
- recreational uses (large scale)
- expansion of existing, legal nonconforming uses

Industrial Uses

- agricultural crop production (of materials produced off-site)
- mineral extraction and processing in urban areas and floodplains as shown on the flood insurance rate
- expansion of existing, legal nonconforming uses

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

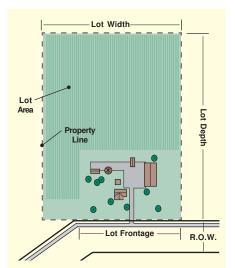
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

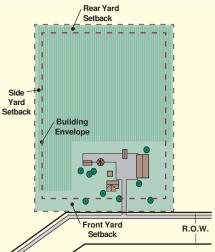
The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

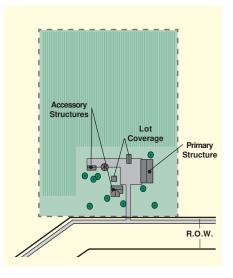
Rev. 2004 S-4 Rev. 2005 S-6

AG - Agriculture District

"AG" District Standards







Minimum Lot Area:

•2 acres

Minimum Lot Width:

•200 feet

Minimum Lot Frontage:

- •50% of the lot width (consistent with the •100 feet when adjacent to a Collector requirements of the Subdivision Control Ordinance) (for residential primary uses)
- •50 feet (consistent with the requirements of the Subdivision Control Ordinance) (for non-residential primary uses)

Maximum Lot Depth:

- •3.5 times the lot width (for residential primary uses)
- none (for non-residential primary uses)

Sewer and Water:

 May use public water and sewer or private well and septic systems

Minimum Front Yard Setback:

- 150 feet when adjacent to an Arterial Road
- Road
- •35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

25 feet

Minimum Rear Yard Setback:

•30 feet

Note:Lots that were legally created under a prior ordinance and are less than 2 acres, minimum side and rear setbacks - 10 feet.

Maximum Lot Coverage:

· square footage of all primary and accessory structures, and impervious surface cannot exceed 10% of the Lot

Minimum Living Area:

- •1,500 square feet (primary use dwelling)
- •1,000 square feet (accessory use dwelling)

Minimum Ground Floor Area:

•40% of the total living area

Maximum Primary Structures per Lot:

Accessory Structures chimneys are exempt Building Height Flat Roof Structures Gable Roof Structures (from highest (from highest gable roof) section of flat roof)

Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- · All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply Lot, Yard, and Density Entrances/Drives (ED) Temporary Uses (TU) (LY) ED-01 Page 115 •TU-01 Page 134 • LY-01 Page 93 ED-02 Page 116 •TU-02 Page 134 Height (HT) Sight Visibility (SV) Fences and Walls (FW) • HT-01 Page 94 SV-01 Page 118 FW-01 Page 137 **Accessory Structure (AS)** Home Occupation (HO) FW-03 Page 137 • AS-01 Page 95 • HO-01 Page 120 Seasonal Housing (SH) AS-02 Page 95 Telecom. Facilities (TF) • SH-01 Page 143 TF-01 Page 123 Buffer Yard (BY) General Signs (GS) • TF-02 Page 126 • BY-01 Page 99 • GS-01 Page 147 Farm Animal (FA) **Environmental (EN)** Temporary Signs (TS) • FA-01 Page 127 • EN-01 Page102 • TS-01 Page 150 FA-02 Page 127 Flood Hazard Area (FH) Permanent Signs (PS) Mobile/Man. Home (MS) • FH-01 Page 104 • PS-01 Page 151 MS-01 Page 128 Parking (PK) • PK-01 Page 110 Satellite Dish (SA) • PK-05 Page 113 SA-01 Page 132

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CR - Conservation Residential District

3.5 "CR" District Intent, Permitted Uses, and Special Uses

District Intent

The "CR" District is intended to provide for the development of clusters of medium sized homes on large lots in otherwise agricultural areas. The intent of the district is to allow for the construction of rural residences and small recreational farms while maintain the viability of the surrounding large-scale farming operations and preserving land for agriculture, open space, and future, higher density development.

Madison County's Plan Commission and Board of Zoning Appeals should strive to establish this district as a transitional area between higher density residential and commercial development and agricultural districts.

Permitted Uses

Agricultural Uses

- grazing and pasture land
- livestock
- agricultural crop production
- retail sales (of crops produced onsite)
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage
- farm implements storage (operable implements used in the farming operation - not for sale)

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)
- residential facility for developmentally disabled/mentally ill
- · child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- public school (P-12)
- · church or other place of worship
- passive recreation trail

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower

Special Uses

Agricultural Uses

- animal boarding
- · livestock auction/sale facility
- commercial greenhouse
- farmer's market (for products grown off-site)
- farm implement sales and service
- seasonal farm worker housing

Residential Uses

- dwelling, single-family
- assisted living/retirement facility
- home occupation (type II)
- bed and breakfast facility
- boarding house

Institutional/Public Uses

- park and recreation uses
- police, fire, or rescue station
- government office/facility

Communication/Utilities

- sewage treatment plant
- wireless telecommunications facility/ tower

Business Uses

- kennel
- recreation uses (large scale)
- expansion of existing, legal, nonconforming uses

Industrial Uses

- mineral extraction and processing in urban areas and floodplains as shown on the flood insurance rate maps
- expansion of existing, legal, nonconforming uses

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

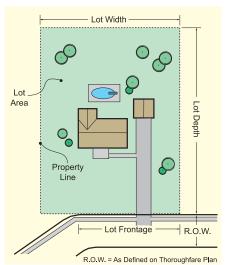
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

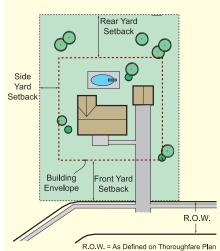
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

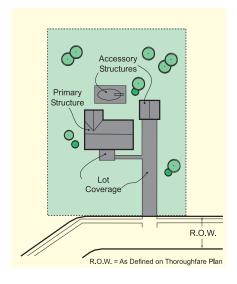
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

CR - Conservation Residential District

3.6 "CR" District Standards







Minimum Lot Area:

- •2 acres (Septic System)
- •1 acre (Public Sewer)

Minimum Lot Width:

•100 feet

Minimum Lot Frontage:

- 75% of the lot width (consistent with the requirements of the Subdivision Control Ordinance) (for residential primary uses)
- 50 feet (consistent with the requirements of the Subdivision Control Ordinance) (for non-residential primary uses)

Maximum Lot Depth:

- •3.5 times the lot width (for residential primary uses)
- none (for non-residential primary uses)

Sewer and Water:

 May use public water and sewer or private well and septic systems

Minimum Front Yard Setback:

- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road Minimum Side Yard Setback:
- •25 feet each side

Minimum Rear Yard Setback:

•30 feet

Note:Lots that were legally created under a prior ordinance and are less than 2 acres, minimum side and rear setbacks - 10 feet.

Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 30% of the Lot Area.

Minimum Living Area:

•1,500 square feet

Minimum Ground Floor Area:

•40% of the total living area

Maximum Primary Structures per Lot:

• 1

Maximum Structure Height:

- •35 feet for the Primary Structure
- •25 feet for Accessory Structures
- All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply Lot, Yard, & Density (LY) Temporary Uses (TU) Entrances/Drives (ED) • LY-01 Page 93 ED-01 Pagé 115 •TU-01 Page 134 Height (HT) Sight Visibility (SV) •TU-02 Page 134 HT-01 Page 94 SV-01 Page 118 Fences and Walls (FW) **Accessory Structure (AS)** Home Occupation (HO) FW-01 Page 137 • AS-01 Page 95 • HO-01 Page 120 • FW-03 Page 137 AS-02 Page 95 Telecom. Facilities (TF) Seasonal Housing (SH) • TF-01 Page 123 Buffer Yard (BY) • SH-01 Page 143 • BY-01 Page 99 • TF-02 Page 126 General Signs (GS) Farm Animal (FA) Environmental (EN) • GS-01 Page 147 • FA-01 Page 127 • EN-01 Page 102 Temporary Signs (TS) Mobile/Man. Home (MS) Flood Hazard Area (FH) • TS-01 Page 150 • MS-01 Page 128 FH-01 Page 104 Permanent Signs (PS) Satellite Dish (SA) PS-02 Page 151 Parking (PK) • SA-01 Page 132 • PK-01 Page 110 • PK-05 Page 113

R1 - Single-Family Residential District

3.7 "R1" District Intent, Permitted Uses, and Special Uses

District Intent

The "R1" District is intended to provide for the development of large single-family detached homes on medium-sized lots. The provisions that regulate this land use district should provide for the development of medium density residential neighborhoods.

Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with higher density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.

The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 2.0 to 2.5 dwelling units per acre community-wide in the "R1" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation - not for sale)

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)
- residential facility for developmentally disabled/mentally ill
- child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single family
- assisted living/retirement facility
- nursing home
- home occupation (type II)
- bed and breakfast facility

Institutional/Public Uses

- parks and recreation uses
- institutional uses (small scale)
- police, fire, or rescue station
- ·church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

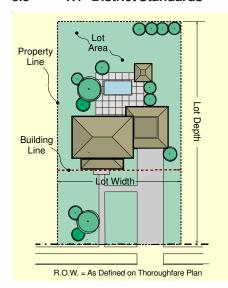
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

R1 - Single-Family Residential District

3.8 "R1" District Standards



Minimum Lot Area:

•12,000 square feet

Minimum Lot Width:

•80 feet

Minimum Lot Frontage:

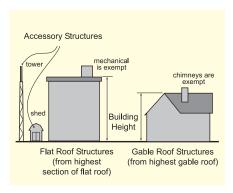
•70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

•2.5 times the lot width

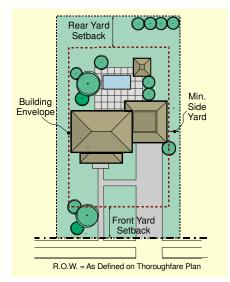
Sewer and Water:

 Requires connection to public water and sewer except may use private well and septic systems provided the lot is alegal nonconforming lot and no public water or sewer systems are available.



Maximum Structure Height:

- •35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6



Minimum Front Yard Setback:

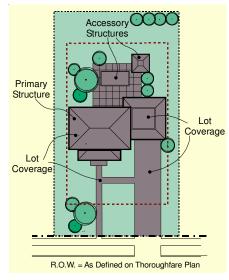
- •50 feet when adjacent to an Arterial
- •35 feet when adjacent to a Collector
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- •5 feet each side
- •20 feet total

Minimum Rear Yard Setback:

25 feet



Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 35% of the Lot Area.

Minimum Living Area:

•1,800 square feet

Minimum Ground Floor Area:

•40% of the total living area

Maximum Primary Structures per Lot:

• 1

Additional Development Standards that Apply

Lot, Yard, & Density (LY) LY-01	Sight Visibility (SV) • SV-01 Page 118 Open Space (OS) • OS-01 Page 119 Home Occupation (HO) • HO-01 Page 120 Telecom. Facilities (TF) • TF-01 Page 123 • TF-02 Page 126 Farm Animal (FA) • FA-01 Page 127 Mobile/Man. Home (MS) • MS-01 Page 128 Satellite Dish (SA) • SA-01 Page 132 Temporary Uses (TU) • TU-01 Page 134 • TU-02 Page 135	Fences and Walls (FW) FW-01 ————————————————————————————————————
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R2 - Single-Family Residential District

3.9 "R2" District Intent, Permitted Uses, and Special Uses

District Intent

The "R2" District is intended to provide for the development of medium-sized single-family detached homes on medium-sized lots. The provisions that regulate this land use district should provide for the development of medium density residential neighborhoods.

Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with lower and higher density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.

The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 2.5 to 4.0 dwelling units per acre community-wide in the "R2" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation - not for sale)

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)
- residential facility for developmentally disabled/mentally ill
- · child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family
- assisted living/retirement facility
- nursing home
- home occupation (type II)
- bed and breakfast facility

Institutional/Public Uses

- parks and recreation uses
- institutional uses (small scale)
- police, fire, or rescue station
- · church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

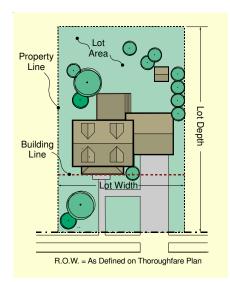
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

R2 - Single-Family Residential District

3.10 "R2" District Standards



Minimum Lot Area:

•8,000 square feet

Minimum Lot Width:

•70 feet

Minimum Lot Frontage:

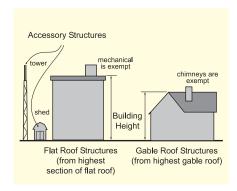
•70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

•2.5 times the lot width

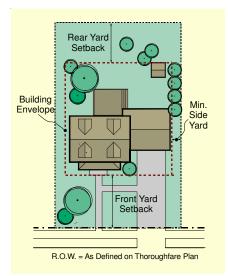
Sewer and Water:

 Requires connection to public water and sewer except may use private well and septic systems provided the lot is alegal nonconforming lot and no public water or sewer systems are available.



Maximum Structure Height:

- •35 feet for the Primary Structure
- •25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6



Minimum Front Yard Setback:

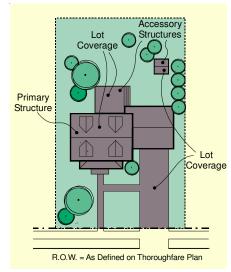
- •50 feet when adjacent to an Arterial
- •35 feet when adjacent to a Collector
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- •5 feet each side
- 15 feet total

Minimum Rear Yard Setback:

•20 feet



Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 45% of the Lot Area

Minimum Living Area:

•1,400 square feet

Minimum Ground Floor Area:

•40% of the total living area

Maximum Primary Structures per Lot:

• 1

Additional Development Standards that Apply

R3 - Single & Two-Family Residential District

3.11 "R3" District Intent, Permitted Uses, and Special Uses

District Intent

The "R3" District is intended to provide the development of small-sized single and two-family homes on small-sized lots. The provisions that regulate this land use district should provide for the development of high density residential neighborhoods.

Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with medium and high density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.

The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 4.0 to 6.0 dwelling units per acre community-wide in the "R3" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)
- dwelling, two-family
- residential facility for developmentally disabled/mentally ill
- ·child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family
- assisted living/retirement facility
- nursing home
- home occupation (type II)

Institutional/Public Uses

- parks and recreation uses
- institutional uses (small scale)
- police, fire, or rescue station
- · church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

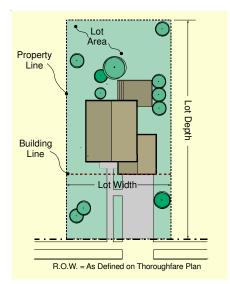
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

Rev. 2003 S-2

R3 - Single & Two-Family Residential District

3.12 "R3" District Standards





- •6,000 square feet (single-family)
- •8,000 square feet (two-family)

Minimum Lot Width:

- •60 feet (single-family)
- •75 feet (two-family)

Minimum Lot Frontage:

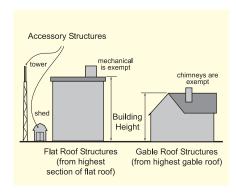
•70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

•2.5 times the lot width

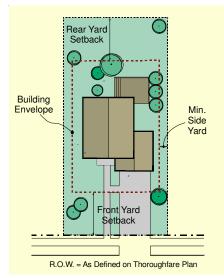
Sewer and Water:

 Requires connection to public water and sewer



Maximum Structure Height:

- •35 feet for the Primary Structure
- •25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6



Minimum Front Yard Setback:

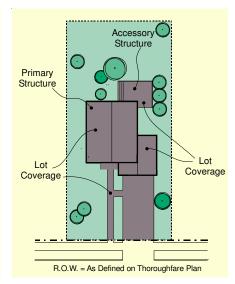
- •50 feet when adjacent to an Arterial
- •35 feet when adjacent to a Collector
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 5 feet each side
- 10 feet total

Minimum Rear Yard Setback:

•15 feet



Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 55% of the Lot Area

Minimum Living Area per Unit:

•1,200 square feet

Minimum Ground Floor Area per Unit:

•40% of the total living area

Maximum Primary Structures per Lot:

•1

Additional Development Standards that Apply

Additional	Development Standar	as tnat Apply
Lot, Yard, & Density (LY) Ly-01 ————————————————————————————————————	Entrances/Drives (ED) • ED-01	Temporary Uses (TU) •TU-01
		-

MR - Multifamily Residential District

3.13 "MR" District Intent, Permitted Uses, and Special Uses

District Intent

The "MR" District is intended to provide for multifamily residential developments. The provisions that regulate this land use district should promote the adequate provision of open spaces, living areas, and vehicle parking.

Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this district with high density single and two-family residential developments and neighborhood-serving and general commercial facilities. This district should be protected from conflicting land uses and be located in proximity to open space, services, and retail establishments.

The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 5.0 to 8.5 dwelling units per acre community-wide in the "MR" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation - not for sale)

Residential Uses

- dwelling, two-family
- · dwelling, multifamily
- residential facility for developmentally disabled/mentally ill
- assisted living/retirement facility
- nursing home
- ·child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

dwelling, single-family

Institutional/Public Uses

- parks and recreation uses
- institutional uses (small scale)
- police, fire, or rescue station
- · church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

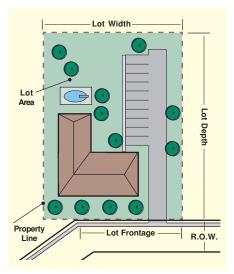
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

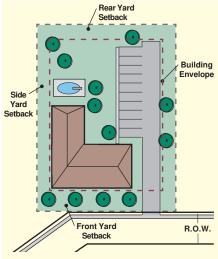
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

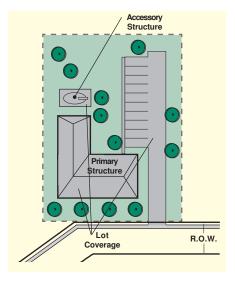
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

MR - Multifamily Residential District

3.14 "MR" District Standards







Minimum Lot Area:

•22,000 square feet

Minimum Lot Area per Unit:

•5,000 square feet

Maximum Lot Area per Unit:

•8,000 square feet

Minimum Lot Width:

• 100 feet

Minimum Lot Frontage:

•70% of the lot width on a public street, with access from said public street

Maximum Lot Depth:

•5 times the lot width

Sewer and Water:

 Requires connection to public water and sewer

Minimum Front Yard Setback:

- •50 feet when adjacent to an Arterial
- 40 feet when adjacent to a Collector
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•30 feet each side

Minimum Rear Yard Setback:

•30 feet

Minimum Common Open Space:

•10% (of the lot area of the parent tract)

Maximum Lot Coverage:

• square footage of all primary and accessory structures, and impervious surface cannot exceed 65% of the Lot

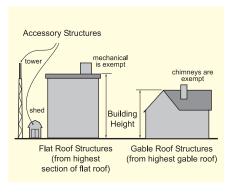
Minimum Living Area per Unit:

•800 square feet

Maximum Primary Structures per Lot:

none

Additional Development Standards that Apply



Maximum Structure Height:

- 45 feet for the Primary Structure
- •25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

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MH - Manufactured Home Park District

3.15 "MH" District Intent, Permitted Uses, and Special Uses

District Intent

The "MH" District is intended to provide a land use district for manufactured home parks in the community as attractive and decent affordable housing. Manufactured Home Parks shall be in accordance with IC 16-11-27-1 et. seq., Rule 410 IAC 6-6 and their subsequent amendments, the State Board of Health Requirements, and the requirements of this Ordinance.

This district should be within close proximity to parks, open space, services and retail establishments and avoid locations near conflicting land uses.

Madison County's Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 7 to 9 dwelling units per acre community-wide in the "MH" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Residential Uses

- manufactured home (type III)
- dwelling, mobile-home
- · child day-care home
- home occupation (type I)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family
- manufactured home (type I)
- manufactured home (type II)

Institutional/Public Uses

- parks and recreation uses
- institutional uses (small scale)
- police, fire, or rescue station
- · church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

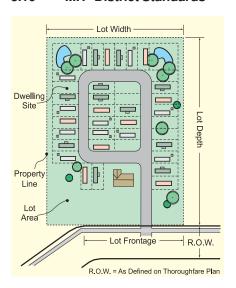
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

MH - Manufactured Home Park District

3.16 "MH" District Standards



Minimum Lot Size:

•10 acres

Minimum Lot Width:

• 300 feet

Minimum Lot Frontage:

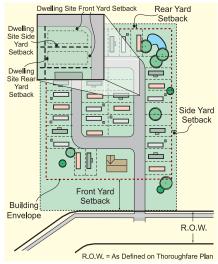
•70% of the lot width on a public street, with access from said public street

Minimum Common Open Space:

•10%

Sewer and Water:

 Requires connection to public water and sewer



Minimum Lot Front Yard Setback:

- 50 feet when adjacent to an Arterial Road
- 50 feet when adjacent to a Collector Road
- •50 feet when adjacent to a Local Road

Minimum Lot Side & Rear Yard Setback:

•30 feet

Minimum Dwelling Site Size:

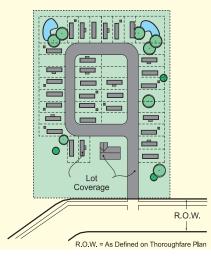
4,000 square feet

Minimum Dwelling Site Width:

•40 feet

Maximum Dwelling Site Depth:

•3.5 times the Lot Width



Minimum Dwelling Site Front Yard Setback:

•10 feet from edge of pavement of interior roads

Minimum Dwelling Site Side & Rear Yard Setback:

•7 feet

Maximum Lot Coverage:

 square feet of all primary and accessory structures, and impervious surface cannot exceed 65% of the lot area.

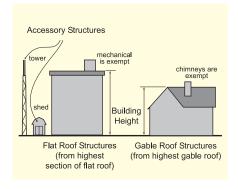
Minimum Living Area per Dwelling Unit:

•750 square feet per dwelling unit

Maximum Primary Structures per Lot:

•none

Additional Development Standards that Apply



Maximum Structure Height:

- •24 feet for the Primary Structure
- 15 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional D	evelopment Standard	is tha
Lot, Yard, & Density (LY) LY-01	Entrances/Drives (ED) • ED-01	Tem •TU-01 •TU-02 •Fenc •FW-0 •LA-0 •LA-0 •LA-0 •LS-0 •Genc •TS-0 •PS-0 •PS-0

	Temporary U	ses (TU)
	•TU-01	Page 134
	•TU-02	
	Fences and V	Valls (FW)
	Fences and V • FW-01	Pàge 137
	• FW-02	Page 137
	Landscaping	(LA)
	• LA-01	Page 138
	• LA-02	Page 140
	Seasonal Hor	using (SH)
	• SH-01	Page 143
	Lighting Star	idards (LS)
	•LS-01	Page 145
	•LS-02	Page 145
	General Sign	s (GS)
	• GS-01	Páge 147
	Temporary S	igns (TS)
	• TS-01	Pàge 150
	Permanent S PS-01	igns (PS)
	• PS-02	Page 151
7	W 2005	C 6

PR - Parks & Recreation District

3.17 "PR" District Intent, Permitted Uses, and Special Uses

District Intent

The "PR" District is intended to provide for the development of recreational facilities and the designation of open space. This district should be integrated with residential districts and natural features potentially forming a community-wide open space system.

Madison County's Plan Commission and Board of Zoning Appeals should strive to establish this district in appropriate residential neighborhoods and in areas of natural open space and recreational features. The Plan Commission and Board of Zoning Appeals should also strive to ensure that usable open space is provided, and that connectivity of recreational amenities is promoted.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Institutional/Public Uses

- parks and recreation uses
- nature preserve
- · passive recreation trail

Business Uses

- recreation uses (medium scale)
- recreation uses (large scale)

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)

Institutional/Public Uses

- police, fire, or rescue station
- church or other place of worship
- government office/facility
- •school (P-12)

Communications/Utilities

- utility substation
- public wellfield/pumphouse
- water tower
- wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

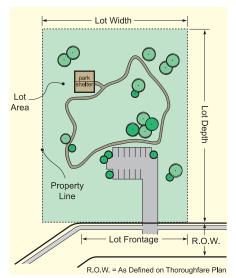
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

PR - Parks & Recreation District

3.18 "PR" District Standards



Minimum Lot Area:

•2 acres

Minimum Lot Width:

• 100 feet

Minimum Lot Frontage:

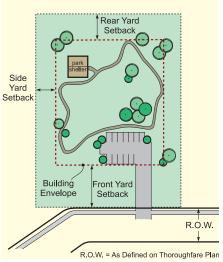
 100 feet on a public street, with access from said public street

Maximum Lot Depth:

none

Sewer and Water:

 May use public sewer and water or private well and septic system



Minimum Front Yard Setback:

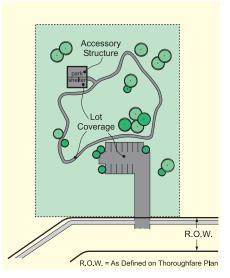
- •50 feet when adjacent to an Arterial Road
- 45 feet when adjacent to a Collector Road
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

• 15 feet

Minimum Rear Yard Setback:

•15 feet

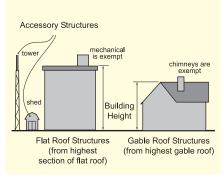


Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 30% of the Lot Area

Maximum Primary Structures per Lot:

none



Maximum Structure Height:

- •35 feet for primary structures
- •25 feet for accessory structures
- All telecommunication facilities shall conform to the requirements of Art. 6



IS - Institutional District

3.19 "IS" District Intent, Permitted Uses, and Special Uses

District Intent

The "IS" District is intended to provide a land use category for public and private institutions and government offices. The provisions that regulate this land use district should make the district compatible with all other districts.

Madison County's Plan Commission and Board of Zoning Appeals should apply this district only where appropriate to establish in the community the services provided by these institutions.

The Plan Commission and Board of Zoning Appeals should also strive to provide appropriate signage, lighting, and parking in the "IS" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Residential Uses

- institutional facility for the developmentally disabled/mentally ill
- assisted living/retirement facility
- nursing home

Institutional/Public Uses

- parks and recreation uses
- nature preserve
- passive recreation trail
- institutional uses (small scale)
- police, fire, or rescue station
- institutional uses (medium scale)
- institutional uses (large scale)
- · church or other place of worship
- government office/facility
- school (P-12)

Communication/Utilities

- utility substation
- public wellfield/pumphouse
- water tower

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)

Communication/Utilities

 wireless telecommunications facility/ tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

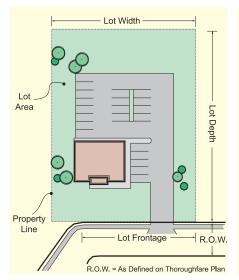
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

IS - Institutional District

3.20 "IS" District Standards



Minimum Lot Area:

•10,000 square feet

Minimum Lot Width:

•100 feet

Minimum Lot Frontage:

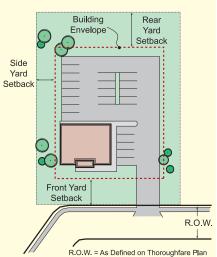
•70% of the lot width on a public street, with access from said public street

Maximum Lot Depth:

•2.5 times the Lot Width

Sewer and Water:

 Requires connection to public water and sewer



Minimum Front Yard Setback:

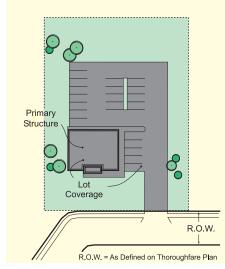
- 50 feet when adjacent to an Arterial Road
- 45 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•25 feet

Minimum Rear Yard Setback:

• 25 feet

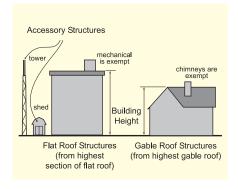


Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area

Maximum Primary Structures per Lot:

• 1



Maximum Structure Height:

- •40 feet for Primary Structures
- •25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply Lot. Yard, & Density (LY) Loading (LD) Temporary Uses (TU) LD-01 Page 114 •TU-01 Page 134 LY-01 Page 93 •TU-04 Page 136 Height (HT) Entrances/Drives (ED) ED-01 Pagé 115 • HT-01 Page 94 Fences and Walls (FW) • FW-01 Page 137 **Accessory Structure (AS)** • ED-03 Page 116 • AS-01 Page 95 Sight Visibility (SV) • FW-03 Page 137 AS-06 Page 98 SV-01 Page 118 Landscaping (LA) • LA-01 Page 138 Telecom. Facilities (TF) Buffer Yard (BY) • TF-01 Page 123 • BY-01 Page 99 • LA-02 Page 140 • TF-03 Page 126 Performance (PS) Seasonal Housing (SH) Farm Animal (FA) • PS-01 Page 101 • SH-01 Page 143 • FA-01 Page 127 Environmental (EN) Lighting Standards (LS) Public Improvement (PI) • EN-01 Page 102 •LS-01 Page 145 PI-01 Page 130 Flood Hazard Area (FH) •LS-02 Page 145 FH-01 Page 104 Satellite Dish (SA) General Signs (GS) SA-01 Page 132 Parking (PK) GS-01 Page 147 PK-01 Page 110 Permanent Signs (PS) • PK-04 Page 110 PS-01 Page 151 • PK-05 Page 113 • PS-03 Page 151

LC - Local Commercial District

3.21 "LC" District Intent, Permitted Uses, and Special Uses

District Intent

The "LC" District is intended to provide a land use category for small scale commercial uses that provide products and services to neighborhoods. The provisions that regulate this land use district should promote appropriate commercial uses that are clearly nonconflicting with residential areas of Madison County.

Madison County's Plan Commission and Board of Zoning Appeals should strive to use this district selectively, in areas where small scale commercial centers are appropriate to service neighborhoods.

The Plan Commission and Board of Zoning Appeals should also strive to exclude businesses from the "LC" district that have an adverse effect on existing or future adjacent neighborhoods.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Residential Uses

- dwelling, single-family (upper floors)
- dwelling, two-family (upper floors)
- dwelling, multifamily (upper floors)
- · child day-care home
- home occupation (type 1)

Institutional/Public Uses

- nature preserve
- passive recreation trail
- police, fire, or rescue station
- church or other place of worship
- government office/facility
- •school (P-12)

Business Uses

- personal service uses
- office uses
- retail uses (small scale)

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock
- farmer's market (for products grown off-site)

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)
- assisted living/retirement facility
- nursing home
- bed and breakfast facility
- dwelling, single family

Institutional/Public Uses

- institutional uses (small scale)
- institutional uses (medium scale)

Communications/Utilities

- utility substation
- water tower
- wireless telecommunications facility/ tower

Business Uses

- auto-oriented uses (small scale)
- · alcohol-related uses
- recreation uses (small scale)
- recreation uses (medium scale)
- retail uses (medium scale)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

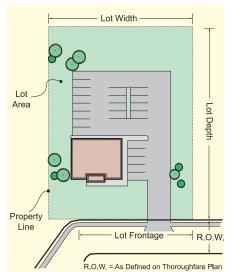
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

LC - Local Commercial District

3.22 "LC" District Standards



Minimum Lot Area:

•5,000 square feet

Maximum Lot Area:

•1 acre

Minimum Lot Width:

•70 feet

Maximum Lot Depth:

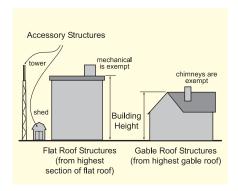
•2.5 times the Lot Width

Minimum Lot Frontage:

 100% of the lot width on a public street with access from said public street

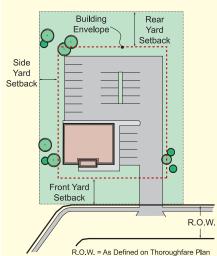
Sewer and Water:

 Requires connection to public water and sewer



Maximum Structure Height:

- •35 feet for the Primary Structure
- •15 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6



Minimum Front Yard Setback:

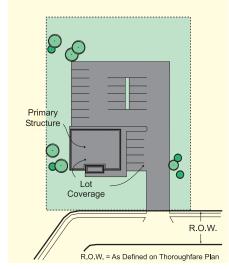
- 40 feet when adjacent to an Arterial Road
- •35 feet when adjacent to aCollector Road
- •20 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•15 feet

Minimum Rear Yard Setback:

•15 feet



Maximum Lot Coverage:

• square footage of all primary and secondary structures, and impervious surface cannot exceed 70% of the Lot

Minimum Living Area per Unit:

•800 square feet

Maximum Primary Structures per Lot:

•1

Additional Development Standards that Apply

Lot, Yard, & Density (LY) LY-01 ————————————————————————————————————	Loading (LD) LD-01	Fences and Walls (FW) • FW-01
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GC - General Commercial District

3.23 "GC" District Intent, Permitted Uses, and Special Uses

District Intent

The "GC" District is intended to provide a land use category for most general business uses. The provisions that regulate this land use district should not overly restrict normal business practices. This district can be used adjacent to all other commercial and industrial districts and the "MH", and "MR" residential districts.

Madison County's Plan Commission and Board of Zoning Appeals should strive to use this district to encourage a strong and stable area for commerce.

The Plan Commission and Board of Zoning Appeals should encourage development in clusters which share resources and minimize the cost of public utilities and services. The Plan Commission and Board of Zoning Appeals should also strive to minimize lighting, parking lots fronting the major streets, and traffic conflicts in the "GC" District.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- commercial greenhouse
- farmer's market (for products grown off-site)
- agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage
- farm implement storage (operable implements used in the farming operation - not for sale)

Institutional/Public Uses

- nature preserve
- passive recreation trail
- police, fire, or rescue station
- institutional uses (medium scale)
- government office/facility

Communication/Utilities

- utility substation
- water tower

Business Uses

- adult uses
- auto-oriented uses (small scale)
- auto-oriented uses (medium scale)
- recreation uses (small scale)
- •recreation uses (medium scale)
- personal service uses
- office uses
- retail uses (small scale)
- retail uses (medium scale)
- retail uses (large scale)

Residential Uses

dwelling, single-faimily, existing

Special Uses

Agricultural Uses

- · grazing and pasture land
- livestock
- · farm implement sales and service

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)
- dwelling, single-family (upper floors)
- dwelling, two-family (upper floors)
- dwelling, multifamily (upper floors)
- dwelling, single family, new

Institutional/Public Uses

- institutional uses (small scale)
- institutional uses (large scale)
- church or other place of worship
- school (P-12)

Communication/Utilities

 wireless telecommunications facility/ tower

Business Uses

- auto-oriented uses (large scale)
- alcohol-related uses
- · mini warehouse storage facility

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

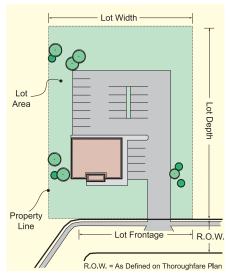
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

GC - General Commercial District

"GC" District Standards



Minimum Lot Area:

•20,000 square feet

Minimum Lot Width:

• 150 feet

Maximum Lot Depth:

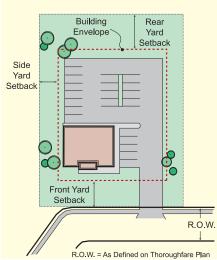
•3.5 times the Lot Width

Minimum Lot Frontage:

• 100 feet on a public street with access from said public street

Sewer and Water:

· Requires connection to public water and sewer



Minimum Front Yard Setback:

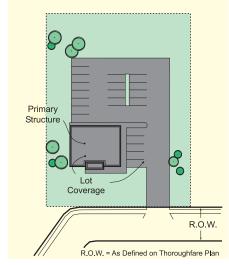
- •50 feet when adjacent to an Arterial Road
- 40 feet when adjacent to a Collector Road
- •30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•25 feet

Minimum Rear Yard Setback:

25 feet



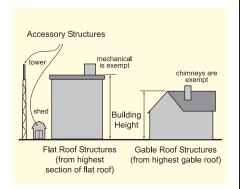
Maximum Lot Coverage:

· square footage of all primary and secondary structures, and impervious surface cannot exceed 70% of the Lot

Maximum Primary Structures per Lot:

• 1

Additional Development Standards that Apply



Maximum Structure Height:

- •35 feet for the Primary Structure
- 25 feet for Accessory Structures
- · All telecommunications facilities shall conform to the requirements of Art. 6

Additional L	Development Standar
Lot, Yard, & Density (LY) LY-01 Page 93 Height (HT) HT-01 Page 94 Accessory Structure (AS) AS-01 Page 95 AS-06 Page 98 Buffer Yard (BY) BY-01 Page 99 Performance (PS) PS-01 Page 101 Environmental (EN) EN-01 Page 102 Flood Hazard Area (FH) FH-01 Page 104 Parking (PK) PK-01 Page 110 PK-02 Page 110 PK-04 Page 110 PK-05 Page 113 Loading (LD) LY-01 Page 114	Entrances/Drives (ED) • ED-01
rago 114	

HC - Highway Commercial District

3.25 "HC" District Intent, Permitted Uses, and Special Uses

District Intent

The "HC" District is intended to provide a land use category for commercial uses that are appropriate for locations along highways. The provisions that regulate this land use district should make the district compatible with the agriculture district and environmentally sensitive areas. This district should be used along highways and at interchanges.

Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for highway oriented business and services while minimizing light pollution, large parking lots along the major roadways, hazardous traffic patterns, traffic conflicts, and excessive use of signs in the "HC" District.

The use of access roads/frontage roads should be required for all commercial uses in this district. Further, road cuts onto arterial or collector roads should be restricted.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- commercial greenhouse
- farmer's market (for products grown off-site)
- agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage
- farm implement storage (operable implements used in the farming operation - not for sale)
- farm implement sales and service

Institutional/Public Uses

- nature preserve
- passive recreation trail
- police, fire, rescue station

Communication/Utilities

- utility substation
- wireless telecommunications facility/
- water tower

Business Uses

- corporate office uses
- auto-oriented uses (small scale)
- auto-oriented uses (medium scale)
- auto-oriented uses (large scale)
- truck stop
- retail uses (large scale)

Residential Uses

dwelling, single-family, existing

Special Uses

Agricultural Uses

- · grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)
- dwelling, single family, new

Institutional/Public Uses

- institutional uses (small scale)
- church or other place of worship
- government office/facility
- •school (P-12)

Business Uses

- alcohol-related uses
- recreation uses (small scale)
- recreation uses (medium scale)
- office uses
- retail uses (small scale)
- retail uses (medium scale)
- mini warehouse storage facility

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

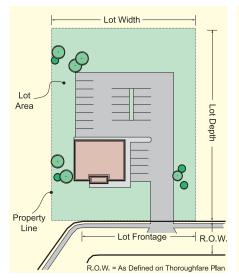
The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

Rev. 2004 S-4

Rev. 2006 S-8

HC - Highway Commercial District

3.26 "HC" District Standards



Minimum Lot Area:

•20,000 square feet

Minimum Lot Width:

• 150 feet

Maximum Lot Depth:

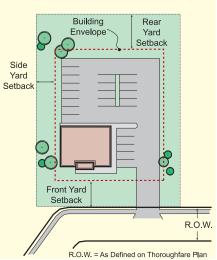
•3.5 times the Lot Width

Minimum Lot Frontage:

 100 feet on a public street with access from said public street

Sewer and Water:

 Requires connection to public water and sewer



Minimum Front Yard Setback:

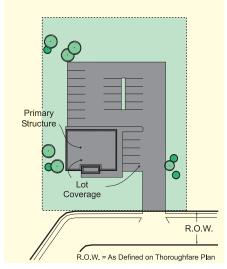
- 50 feet when adjacent to an Arterial Road
- 40 feet when adjacent to a Collector Road

Minimum Side Yard Setback:

25 feet

Minimum Rear Yard Setback:

•25 feet

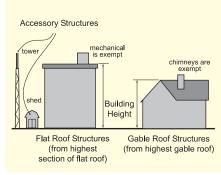


Maximum Lot Coverage:

 square footage of all primary and accessory structures, and impervious surface cannot exceed 65% of the Lot Area

Maximum Primary Structures per Lot:

•1



Maximum Structure Height:

- 40 feet for the Primary Structure
- •25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply Lot. Yard. & Density (LY) Loading (LD) Fences and Walls (FW) • LD-01 Page 114 • FW-01 Page 137 • LY-01 Page 93 Entrances/Drives (ED) • FW-03 Page 137 Height (HT) Page 94 • ED-01 Pagé 115 • HT-01 Landscaping (LA) • LA-01 Page 138 Accessory Structure (AS) • ED-03 Page 116 • AS-01 Page 95 Sight Visibility (SV) • LA-02 Page 140 • SV-01 Page 118 • AS-06 Page 98 Large Retail (LR) • LR-01 Page 141 Telecom. Facilities (TF) Buffer Yard (BY) • TF-01 Page 123 • BY-01 Page 99 Seasonal Housing (SH) • TF-04 Page 126 Performance (PS) • SH-01 Page 143 Farm Animal (FA) • FA-01 Page 127 • PS-01 Page 101 **Lighting Standards (LS) Environmental (EN)** •LS-01 Page 145 Public Improvement (PI) • EN-01 Page 102 •LS-02 Page 145 • PI-01 Page 130 Flood Hazard Area (FH) General Signs (GS) Satellite Dish (SA) • FH-01 Page 104 • GS-01 Page 147 SA-01 Page 132 Parking (PK) Permanent Signs (PS) **Temporary Uses (TU)** • PS-01 Page 151 PK-01 Page 110 •TU-01 Page 134 • PK-04 Page 110 PS-06 Page 154 •TU-04 Page 136 • PK-05 Page 113

LI - Light Industrial District

3.27 "LI" District Intent, Permitted Uses, and Special Uses

District Intent

The "LI" District is intended to provide a land use category for assembly, warehousing, and other light industrial operations. The provisions that regulate this land use district should make the district compatible with the "GC", "HC" and "AG" districts and environmentally sensitive areas. This district should be used in combination with the HC district in areas with convenient access to major transportation routes.

Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for light industrial operations while minimizing light pollution, large parking lots along the major roadways, hazardous traffic patterns, and traffic conflicts in the "LI" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- agricultural products sales and distribution
- farm implement storage (operable implements used in the farming operation not for sale)
- farm implement sales and service

Institutional/Public Uses

- nature preserve
- passive recreation trail
- police, fire, or rescue station

Communication/Utilities

- utility substation
- sewage treatment plant
- wireless telecommunications facility/ tower
- water tower

Business Uses

corporate office uses

Industrial Uses

industrial uses (low impact)

Special Uses

Agricultural Uses

- confined feeding operation
- grazing and pasture land
- livestock
- livestock auction and sale facility
- ·commercial greenhouse

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)

Institutional/Public Uses

- institutional uses (small scale)
- institutional uses (medium scale)
- institutional uses (large scale)
- church or other place of worship
- government office/facility
- school (P-12)

Business Uses

- truck stop
- kennel
- office uses

Industrial Uses

 agricultural crop production and storage (of materials produced offsite)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

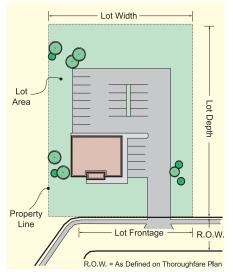
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

LI - Light Industrial District

3.28 "LI" District Standards



Minimum Lot Area:

•25,000 square feet

Minimum Lot Width:

• 150 feet

Maximum Lot Depth:

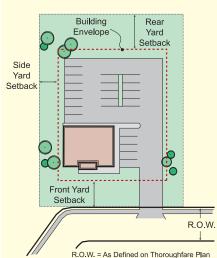
none

Minimum Lot Frontage:

 100 feet on a public street with access from said public street

Sewer and Water:

 Requires connection to public water and sewer



Minimum Front Yard Setback:

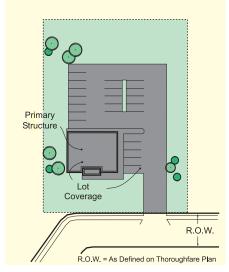
- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

25 feet

Minimum Rear Yard Setback:

• 25 feet



Maximum Lot Coverage:

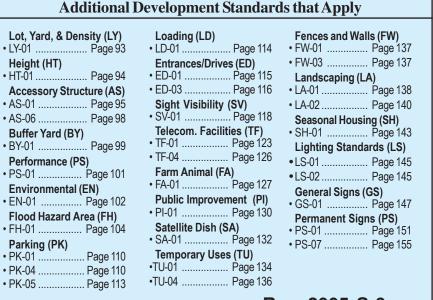
 square feet of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area

Maximum Primary Structures per Lot:

•1

Maximum Structure Height:

- 40 feet for the Primary Structure
- •25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6



GI - General Industrial District

3.29 "GI" District Intent, Permitted Uses, and Special Uses

District Intent

The "GI" District is intended to provide a land use category for a variety of industrial operations. The provisions that regulate this land use district should make the district compatible with the "GC", "HC", "LI" and "AG" districts and environmentally sensitive areas. This district should be used in combination with the "LI" district in areas with convenient access to major transportation routes.

Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for industrial operations while minimizing light pollution, large parking lots along major roadways, hazardous traffic patterns, and traffic conflicts in the "GI" district.

Permitted Uses

Agricultural Uses

- agricultural crop production
- agriculture crop processing (of materials produced on-site)
- agriculture crop storage (of materials produced on-site)
- farm implement storage (operable implements used in the farming operation not for sale)

Institutional/Public Uses

- nature preserve
- passive recreation trail

Communication/Utilities

- utility substation
- sewage treatment plant
- wireless telecommunications facility/ tower
- water tower

Industrial Uses

- mineral extraction and processing
- industrial uses (high impact)
- agricultural crop production and storage (materials produced off-site)

Special Uses

Agricultural Uses

- grazing and pasture land
- livestock

Residential Uses

- dwelling, single-family (as an accessory to agriculture uses)
- dwelling, single-family (accessory, as an additional dwelling)

Institutional/Public Uses

- church or other place of worship
- government office/facility
- school (P-12)

Industrial Uses

- industrial uses (low impact)
- junk yard (including sanitary landfill, refuse dump, and scrap metal yard)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

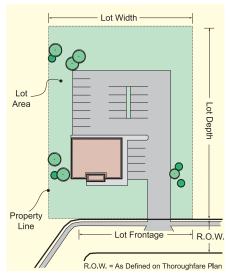
The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

GI - General Industrial District

3.30 "GI" District Standards



Minimum Lot Area:

•2 acres

Minimum Lot Width:

•250 feet

Maximum Lot Depth:

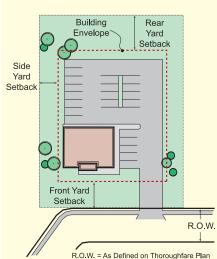
none

Minimum Lot Frontage:

 100 feet on a public street with access from said public street

Sewer and Water:

 Requires connection to public water and sewer



Minimum Front Yard Setback:

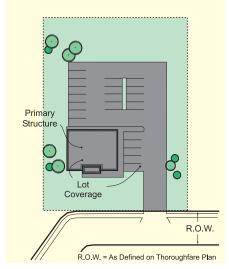
- •150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

•40 feet

Minimum Rear Yard Setback:

• 40 feet

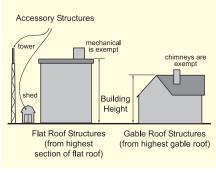


Maximum Lot Coverage:

 square feet of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area

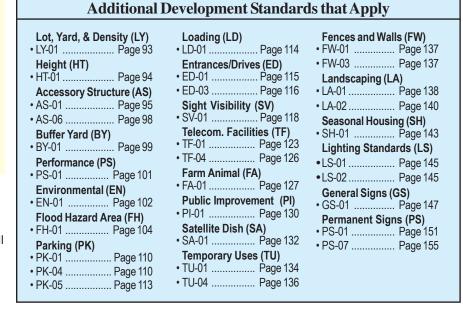
Maximum Primary Structures per Lot:

•1



Maximum Structure Height:

- •40 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6



Land Use Matrix

3.31 Land Use Matrix

3.31 Land Use Matrix				i B'	4-1-4										
llea	A D	۸.۰	CB	D4	Dο	P2	_	ing Dis		Je.	10	CC.	UС		CI
Use Agricultural Uses	AP	AG	CR	R1	R2	R3	MR	МН	PR	IS	LC	GC	нс	LI	GI
Agricultural Uses confined feeding operation	S	S												S	
	P	P	Р	S	S	S	S	S	S	S	S	S	S	S	S
grazing/pasture land livetock	P	P	P	S	S	S	S	S	S	S	S	S	S	S	S
animal boarding	S	S	S	0	0	0	0	0	0	٥	0	0	0	-3-	-
-	0	S	S											S	
livestock auction/sale facility agricultural crop production	Р	P	P	Р	Р	Р	P	Р	Р	Р	Р	Р	Р	P	Р
agricultural seed sales, fertilizer sales, farm co-op facility	r	r	F	Г	r	, r	r	r	r	r	r	, r	r	, r	r
retail sales (of crops produced on-site)	S	Р	Р											\vdash	
agricultural crop processing (of materials produced on-site)	P	P	P	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р
agricultural product storage (or materials produced on-site)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
commercial greenhouse	Г	S	S	Г	-	Г	-	-	-	r	r	P	P	S	
farmers market (for products grown off-site)		S	S								S	P	P	_ 3	\vdash
agricultural products sales, distribution, and storage	Р	P	P								3	P	Р	Р	
agricultural seed sales, fertilizer sales, farmco-op facility	F	Г	F									Г	Г		l
farm implement storage (operable implements)	Р	Р	Р	Р	Р	Р	P	Р	Р	Р	Р	Р	Р	Р	Р
farm implement sales and service	Г	S	S	Г	-	Г	-	-	-	r	r	S	P	P	
·	S	S	S						-			- 3	۲		
seasonal farm worker housing Residential Uses	٥	5	٥		_										
dwelling, single-family, new	S	Р	Р	Р	Р	Р				1	s	S	S		
dwelling, single-family, new dwelling, single-family, existing	S	P	P	P	P	P				1	٥	P	P P	$\vdash\vdash\vdash$	
<u> </u>	S	۲	P	۲		Ρ.			-			P	۲	$\vdash\vdash\vdash$	
dwelling, single-family (accessory, as an additional dwelling)	5		-		-		\vdash	P	-	1	-				
dwelling, mobile home	_	Р	_	_	P	_		_						$oldsymbol{oldsymbol{}}$	
dwelling, manufactured home (type I)	S		P	P		P		S						\vdash	
dwelling, manufactured home (type II)	S	Р	Р	Р	Р	Р		S						$oldsymbol{ol}}}}}}}}}}}}}}}}}}$	\vdash
dwelling, manufactured home (type III)								Р			_			$oldsymbol{ol}}}}}}}}}}}}}}}}}}$	\vdash
dwelling, single-family (upper floors)											Р	S		$oldsymbol{oldsymbol{\sqcup}}$	Ь—
dwelling, two-family					Р	Р								$oldsymbol{\sqcup}$	Ь—
dwelling, two-family (upper floors)											Р	S		$oldsymbol{oldsymbol{\sqcup}}$	Ь—
dwelling, multi-family							Р							$oldsymbol{oldsymbol{\sqcup}}$	<u> </u>
dwelling, multi-family (upper floors)											Р	S		ш	
residential facility for the developmentally/mentally disabled		Р	Р	Р	Р	Р	Р			Р				ш	
assisted living/retirement facility			S	S	S	S	Р			Р	S			ш	
nursing home				S	S	S	Р			Р	S			ш	
child day-care home		Р	Р	Р	Р	Р	Р	Р			Р			ш	
home occupation (type I)		Р	Р	Р	Р	Р	Р	Р			Р			ш	
home occupation (type II)	S	S	S	S	S	S								ш	
bed and breakfast facility	S	S	S	S	S						S			ш	
boarding house		S	S											ш	1
private air strip	S	S	S											S	S
Institutional/Public Uses															
Parks and Recreation Uses			S	S	S	S	S	S	Р	Р	S				i
nature center, park, public athletic courts and fields, playground														ш	
nature preserve	Р	Ρ	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р
passive recreation trail	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р	Р
institutional Uses (small scale)				S	S	S	S	S		Р	S			S	
institutional facilith for developmentally disabled, institutional facility	1		I							I	I				i
for mentally ill, child day-care center, adult day-care center	<u>L</u>		L_	<u> </u>						L_	L_				<u></u>
police, fire or rescue station	S	S	S	S	S	S	S	S	S	Р	Р	Р	Р	Р	
institutional uses (medium scale)										Р	S	Р		S	
funeral home/mortuary, cemetry, public parking lot, crematory	1		I							I	I				i
armory, library, museum, post office, recreation center, community	Ī		I												ı
center, service/fraternal/labor organization office and meeting hall		L	L	L_	L		L I		L	L				∟ I	<u>L</u>
institutional uses (large scale)										Р		S		S	
trade or business school, university or college, hospital			I							I	I				i
helipad/heliport, airport, fairground/race track	1		I							I	I				i
church or other place of worship	S	Р	Р	S	S	S	S	S	S	Р	Р	S	S	S	S
government office/facillity	S	S	S	S	S	S	S	S	P	P	P	S	S	S	S
school (P-12)	S	Р	P	S	S	S	S	S	S	S	P	P	S	S	S
Communication/Utilities															
utility substation	Р	Р	Р	S	S	S	S	S	S	Р	S	Р	Р	Р	Р
public wellfield/pumphouse	P	P	P	S	S	S	S	S	S	P	Ť	Ė		\vdash	广
sewage treatment plant	<u> </u>	S	S	Ť	Ť	Ť		Ť	Ť	广				Р	Р
wireless telecommunication facility/tower	S	S	S	S	S	S	S	S	S	S	S	S	Р	P	P
water tower	P	P	P	S	S	S	S	S	P	P	S	P	P	P	P
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P-Permitted Use S-Special Use

Rev. 2004 S-4 Rev. 2005 S-6

Land Use Matrix

(continued)

Use MAP AG CR R1 R2 R3 MAP MAP R3 R2 R3 MAP MAP R4 R3 R5 CR CR CR L1 GI GI GI GI GI GI GI G		Zoning District																
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positions, manufacture dimobile horse sales and service, sand services and services, boat and RV seles and services. The results and services are services in the results of the results and services. S.		+											S	D				
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alsohot related uses Pur, fuvern, right dub, fuor slove moveration uses (mall scale) Bildredireade norm, vicebord store, benquet hal, bowling aley, frequere moveration uses (medium scale) Bildredireade norm, vicebord store, benquet hal, bowling aley, frequere moveration uses (medium scale) diving range, minister golf course, sating risk, swimming pool, habiting planting controls. P P S P S P S P S P P S P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P P S P	·	s	S	S											_			
Jax. Issem, night club. [sport abre reversation uses (predium scale) S P S D S D D S D D S D D S D D												S	s	S				
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P-Permitted Use S-Special Use

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